



Building

**Reimagine your
workspace.**

Building 200

30,000 sq ft available to let

Building

Building 200 comprises an imposing two storey detached office building, set within mature landscaped grounds, prominently located at the entrance of Colchester Business Park.



Available to let in 2024, this newly refurbished space includes fully furnished break out areas and modern amenities, energy efficient upgrades and enhanced building security with parking. 30,000 sq ft available to let in total, with areas available from 5,000 sq ft.



Building

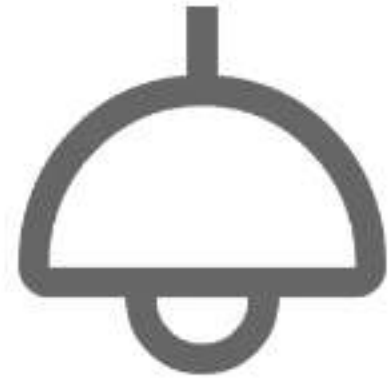
An impressive entrance foyer provides stairs and lift access to the first floor office accommodation. The offices are to be provided in an open plan format ready for an occupiers own fit out. WC and shower facilities are provided on both floors along with an open plan kitchenette area.

The refurbished specification is to include; suspended ceilings with recessed LED lighting and heating / cooling system, 8 person passenger lift, floor to ceiling aluminum double glazed windows, raised access floor with a carpet tile covering.

High Speed Fibre Broadband is available and 106 car parking spaces are provided on-site with an additional 50 spaces provided in the adjoining car park.



Refurbished Specification



Lighting

Energy efficient, controllable LED lighting



Wi-Fi infrastructure

New Wi-Fi infrastructure



Cycling facilities

Bicycle storage and changing facilities



Amenities

New business lounge and break out areas including kitchen



Landscaping / exterior

Landscaping package and exterior refurbishments



Air conditioning

Zoned VRF air conditioning systems including heat recovery ventilation to provide fresh air

Proposed Ground Floor GA Plan

GA NOTES

All drawings to be read in conjunction with all architectural and consultant information, refer to drawings and specifications as marked throughout.

- Plans 1300s
- Frames 1600s
- RCPs 1800s
- Scaff 2200s
- Internal Elevations 2300s
- Signage 3100s
- Joinery 3200s

Refer to detail drawings as marked throughout.

All setting out is based on measured survey from Plovermen Craven received September 2023. All dimensions are to be checked on site and any discrepancies to be reported to the contractor administrator architect prior to the commencement of the works.

No unauthorised works are to be carried out without written consent from the Contractor Administrator. In the event of any unforeseen issues the contractor is to report the issue to the Contracts Administrator.

Refer to M&E information for extent of existing and proposed services equipment within plant rooms and riser areas. Any information shown on S&P drawings is indicative only.

Contractor to ensure that all redundant penetrations within floor slabs, partitions, walls, etc. to be made good to match existing and provide fire rating in accordance with fire strategy.

Service Penetrations - Contractor to refer to MEP information for quantity, location and size of service penetrations. Contractor to coordinate with structural engineer to ensure appropriate openings are created to accommodate service routes. All penetrations to be in accordance with fire and acoustic requirements.

Access Panels - Location, size and number of access panels contractor to refer to MEP information to be approved by project team on site in line with M&E requirements. All access panels to be beaded frame, metal floor panels with hinged lock - finish colour to match surround wall/ceiling finish. Fire rating as required in line with fire strategy.

Raised Access Floors - Contractor to retain and re-level existing raised access floors and replace any damaged panels.

Screened - In general of existing screen to be retained. To be inspected by Contractor to establish condition and suitability for reuse. Contractor to establish extent of screen to be retained and report back to design team. Contractor to make allowance for catch metal works to screen and levelling compound to be applied to all retained screens. Surface quality to meet floor finish manufacturer's recommendations.

Internal Doors - Refer to Door Type Schedule CO2100 Specification for extent of works to new and existing doors.

New Partitions - All new partitions as per NBS Section K10. Contractor to allow for partitioning to be installed within partition walls to support wall-mounted items such as sinks, benches, hand-dryers, etc. in conjunction with fire manufacturer's recommendations. Refer to GA 1340 series for wall types and GA 1610 series for finishes.

Existing Windows/Doors/Curtain Walling - Existing frames, sills, cappings and inlets to be cleaned.

Existing Wall Linings - In general contractor to make good all walls. Where cracks have appeared in plasterboard junctions contractor to remove isolated skin coat and provide patching paper/mesh in accordance with manufacturer recommendation and refer to reduce future movement. Walls to be redecorated as per finish drawings. Refer to Fire Strategy report for existing fire requirements for structural components.

Fire Stopping - Refer to Fire Stopping survey carried out by T&R Fire Protection LTD received March and April 2024 for all locations that require repair. All areas required for repair to be made in line with Fire Strategy. All fire stopping details to construction design following relevant drawings and on site review. Note, review of received drawings to also be carried out. All trades subject to fire strategy requirements by others. Surface levels of walls to achieve D-s1, d2 for small rooms of maximum internal floor area 30m², C-s1, d2 for other rooms and D-s1, d2 for other circulation spaces. Upblast rated ceiling and other service floor coverings and under-lays should be resistant to ignition as specified in BS7175:2007+A1:2011 for resistance to ignition of upholstered furniture for non-domestic premises.

Contractor Design Portion - All items listed under the Contractor Design Portion are to be submitted to contractor administrator and architect for review and comment prior to procurement. Items include:

- Fire stopping details
- Fixings to structure
- Joinery
- Signage
- External signage and fixings
- Cycle store foundations

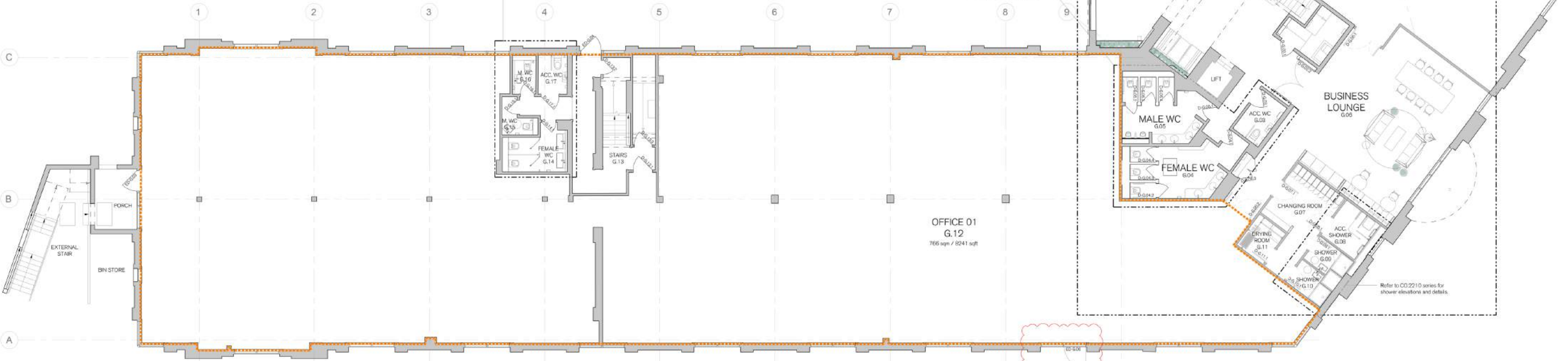
Phase 2 Scope - Refer to tender documents for pricing requirements.

Refer to CO2200 series for sanitary elevators and details.

Refer to GA 1320 for reception, business lounge, shower block and wc layout details.

Refer to CO2200 series for sanitary elevators and details.

Refer to CO2210 series for shower elevators and details.



Accommodation
(Approximate Net Internal Areas)

Reception – 400 sq ft (37.2 sq m)
 Ground Floor – 14,917 sq ft (1,385.8 sq m)
 First Floor – 14,999 sq ft (1,393.5 sq m)
 Total – 30,316 sq ft (2,816.5 sq m)

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REV	DATE	DESCRIPTION	DRAWN	CHECKED	PROJECT	DESCRIPTION	DATE	SCALE	JOB NO.
C	17/05/24	NEW WALL LINING, DRYING ROOM LAYOUT, UPDATED	CW	DRG	BUILDING 200	PROPOSED GROUND FLOOR GA PLAN	APR 24	1:100	23.074
D	01/07/24	AREA OF PHASE 2 SCOPE AMENDED	CW	DRG	COLDHESTER BUSINESS PARK	GA PLAN			GA.1310
E	21/07/24	NEW FIRE EXITS ADDED TO GROUND FLOOR OFFICE SUITES	CW	DRG					

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[Download Potential Floorspace Split](#)

Proposed First Floor GA Plan

GA NOTES

All drawings to be read in conjunction with all architectural and consultant information, refer to drawings and specifications as marked throughout.

- Plans 1300s
- Fireworks 1600s
- RCPs 1600s
- Sanitary 2200s
- Internal Elevators 2300s
- Signage 3100s
- Joinery 3000s

Refer to detail drawings as marked throughout.

All setting out to be based on measured survey from Phoenix Comm received September 2022. All dimensions are to be checked on site and any discrepancies to be reported to the contractor administrator architect prior to the commencement of the works.

No unauthorised works are to be carried out without written consent from the Contractor Administrator. In the event of any unforeseen issues the contractor is to report the issue to the Contractor Administrator.

Refer to M&E information for extent of existing and proposed services equipment within plant rooms and riser areas. Any information shown on SAP drawings is indicative only.

Contractor to ensure that all redundant penetrations within floor slabs, partitions, walls, etc. to be made good to match existing and provide fire rating in accordance with fire strategy.

Service Penetrations - Contractor to refer to MEP information for quantity, location and size of service penetrations. Contractor to coordinate with structural engineer to ensure appropriate openings are created to accommodate service routes. All penetrations to be in accordance with the fire and acoustic requirements.

Access Panels - Location, size and number of access panels contractor to refer to MEP information to be approved by project team on site in line with M&E requirements. All access panels to be leader frame, metal door panels with budget lock - finish colour to match surround radiating from fire rating as required in line with fire strategy.

Raised Access Floors - Contractor to retain and re-level existing raised access floors and replace any damaged panels.

Screed - In general all existing screed to be retained. To be inspected by Contractor to establish condition and suitability for re-use. Contractor to establish extent of screed to be retained and report back to design team. Contractor to make allowance for patch repair works to screed and levelling compound to be applied to all retained screeds. Surface quality to meet floor finish manufacturer's recommendations.

Internal Doors - Refer to Door Type Schedule CO2195. Specification for extent of works to new and existing doors.

New Partitions - All new partitions as per NBS Section K10. Contractor to allow for pre-fabrication to be installed within partition walls to support wall-mount items such as sinks, benches, hand driers, etc. in conjunction with item manufacturer's recommendations. Refer to GA-1940 series for wall types and GA-1610 series for fixtures.

Existing Windows/Doors/Curtain Walling - Existing frames, sills, cappings and linels to be cleaned.

Existing Wall Linings - In general contractor to make good all walls. Where cracks have appeared in plasterboard junctions contractor to remove isolated skin coat and provide jointing paper/fresh in accordance with manufacturer recommendation and refresh to reduce future movement. Walls to be redecorated as per finish drawings. Refer to Fire Strategy report for existing fire requirements for structural components.

Fire Stopping - Refer to Fire Stopping survey carried out by TAB Fire Protection LTD received March and April 2024 for all locations that require repair. All areas required for repair is to meet rating required by Fire Strategy. All fire stopping details to contractors design following intent drawings and on site review. Note: review of record drawings to also be carried out. All fixtures subject to fire strategy requirements (by others). Surface linings of walls to achieve D-s3, d2 for small rooms of maximum internal floor area 30m², C-s3, d2 for other rooms and 0-s3, d2 for other circulation spaces. Upholstered seating, carpets and other textile floor coverings and underlays should be resistant to ignition as specified in BS7176:2007+A1:2011 for resistance to ignition of upholstered furniture for non-domestic premises.

Contractor Design Portion - All items listed under the Contractor Design Portion are to be submitted to contractor administrator and architect for review and comment prior to procurement. Items include:

- Fire stopping details
- Fixings to structure
- Joinery
- Signage
- External storage and fixings
- Cycle store boundaries.

Phase 2 Scope - Refer to tender documents for pricing requirements

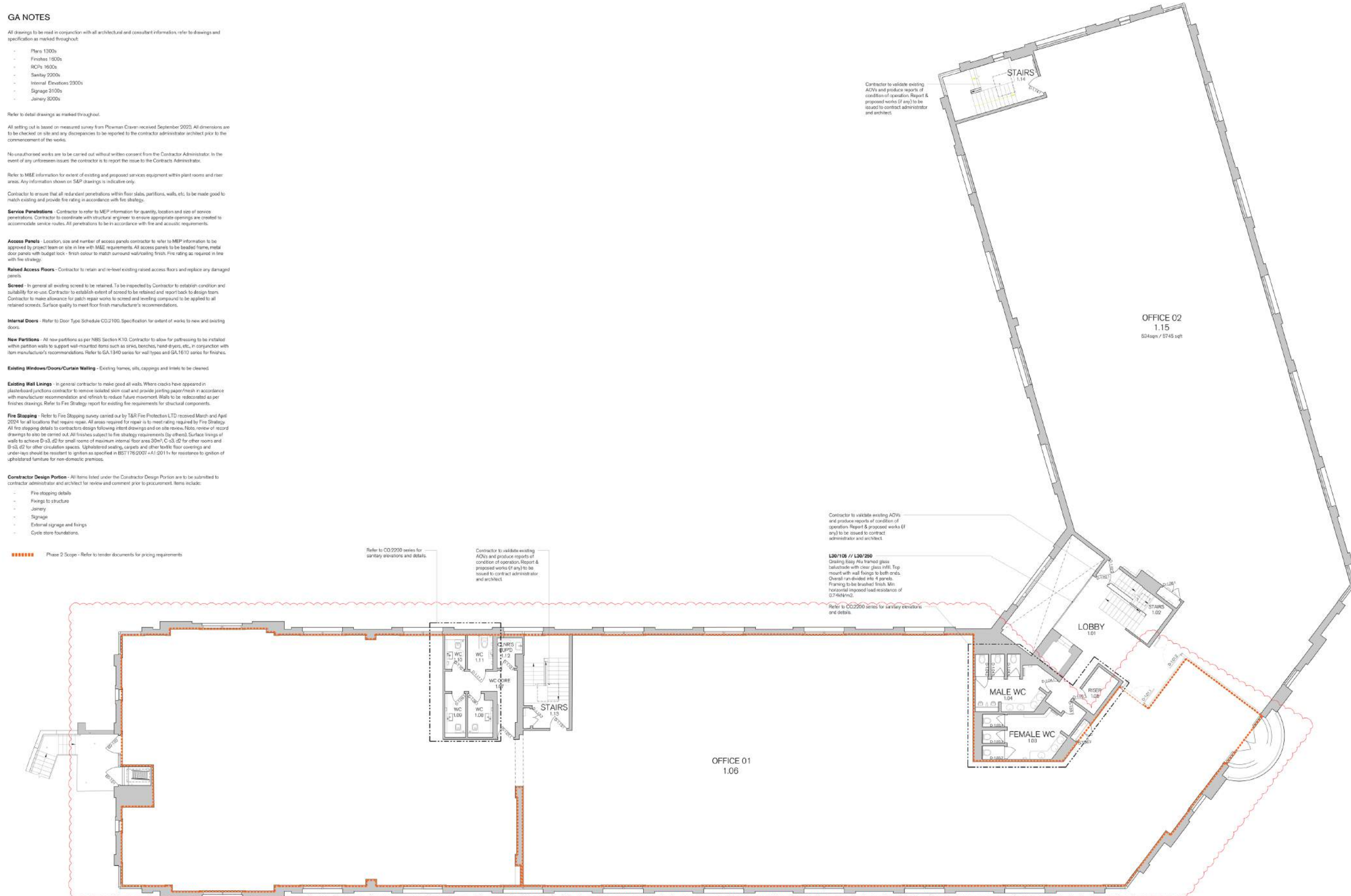
Refer to CO 2200 series for sanitary elevators and details.

Contractor to validate existing ADUs and produce reports of condition of operation. Report & proposed works (if any) to be issued to contract administrator and architect.

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LBB1106 / LBB1200
Double glazed fire rated glass balustrade with clear glass infill. Top mounted with wall fixings to both ends. Glass pan divided into 4 panels. Framing to be finished from site. Horizontal imposed load resistance of 0.75kN/m.

Refer to CO 2200 series for sanitary elevators and details.



PROPOSED FIRST FLOOR GA PLAN

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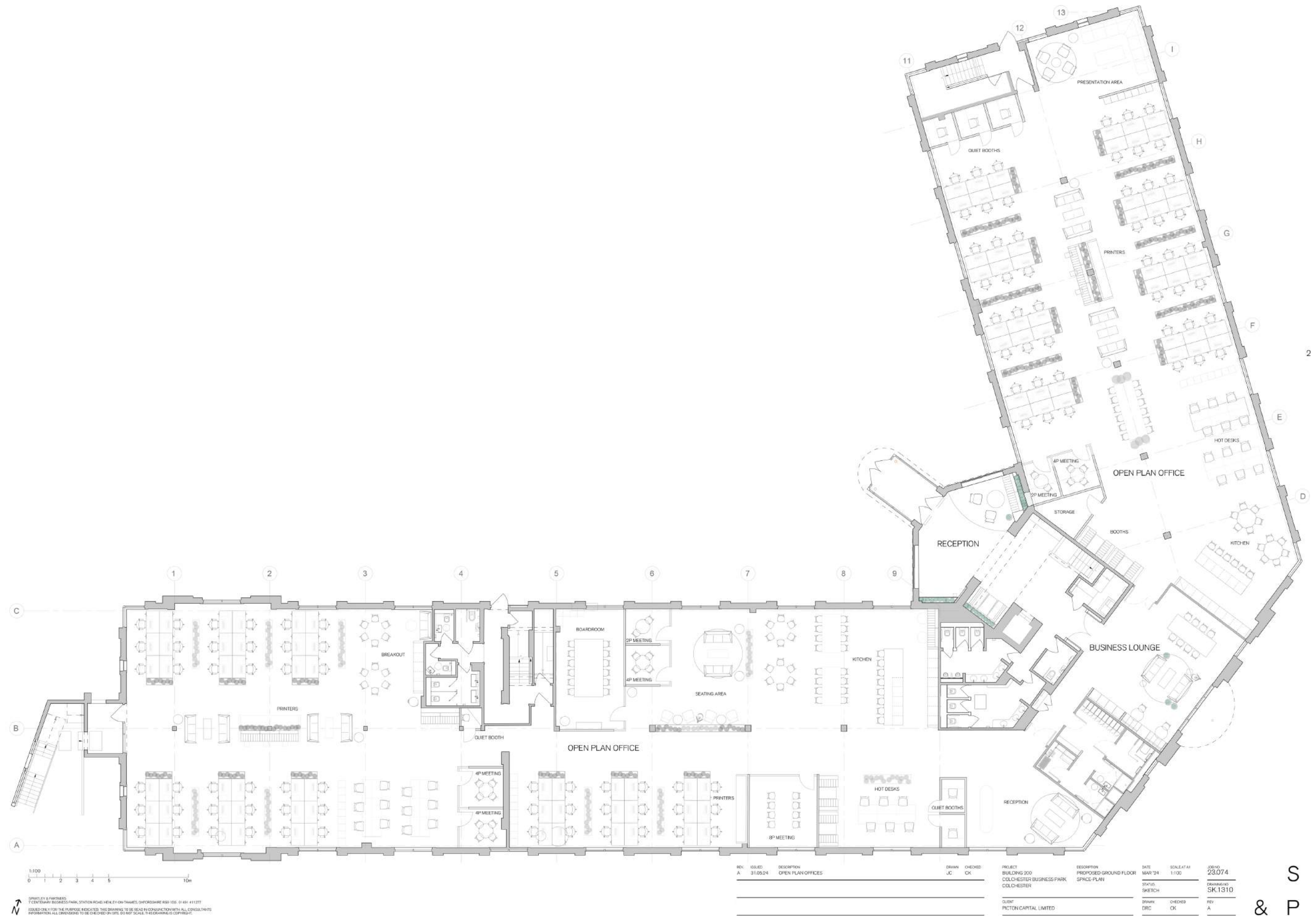
REV	ISSUED	DESCRIPTION	DRAWN	CHECKED
A	01.08.24	PLAN AND NOTES UPDATE	CW	CRK
B	03.05.24	KEY AND MORE UPDATES	CW	CRK
C	01.07.24	NEW DEMISE SPLIT ADDED. AREA OF PHASE 2 SCOPE AMENDED	CW	CRK

PROJECT	BUILDINGS 200	DATE	APR '24	DRAWING NO.	23.074
	COLDHESTER BUSINESS PARK	STATUS	TENDER		
	COLDHESTER	DRAWN	CRK		
SHEET	PROPOSAL FIRST FLOOR	DATE	APR '24	SCALE AT A1	1:100
	GA PLAN	DRAWN	CRK		
		CHKD	CRK		
		REV			
		C			

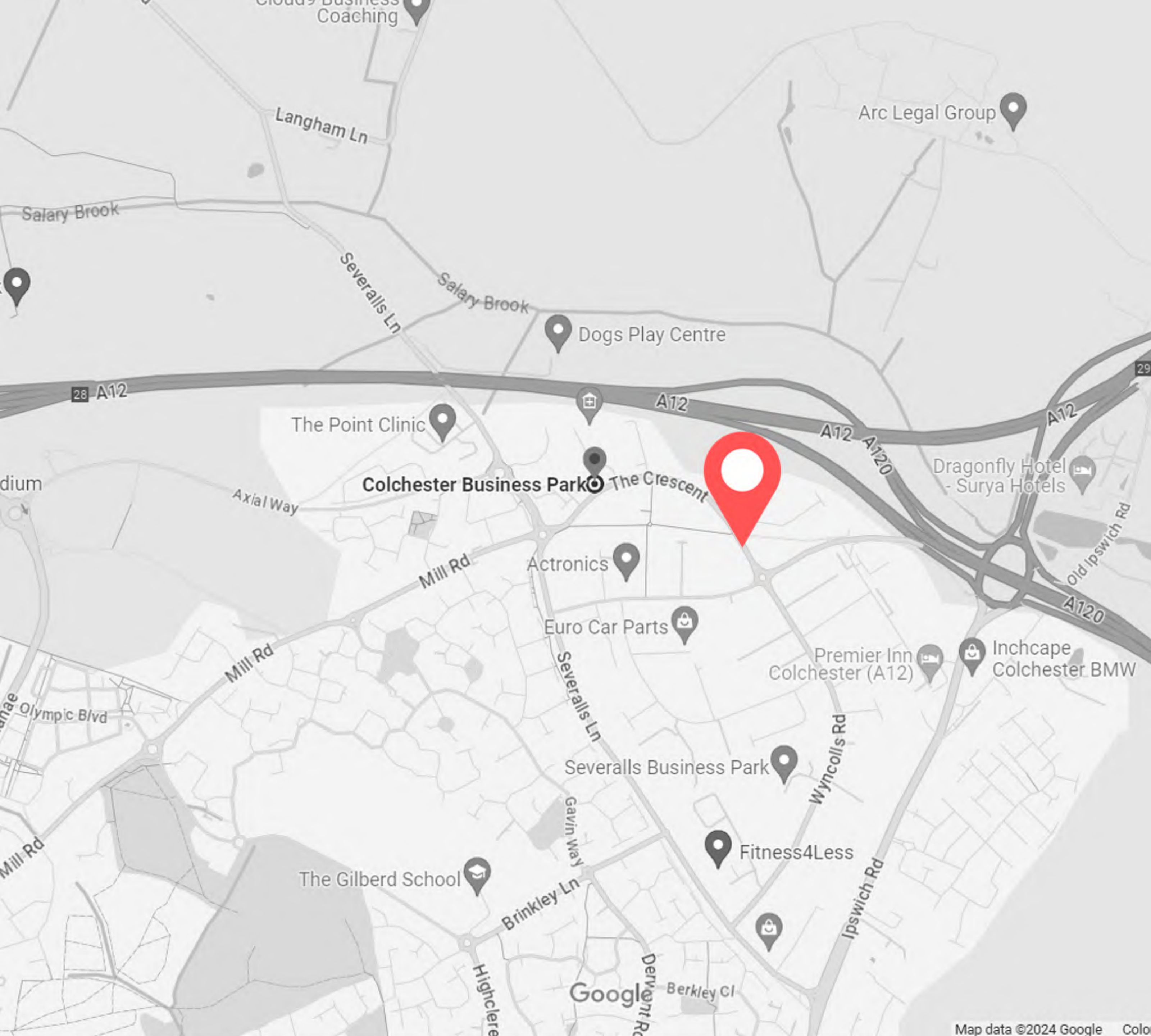
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Space Plan



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Location

Colchester Business Park is located to the north of Colchester directly adjacent to the A12 / A120 interchange which provides excellent access to the UK's major motorway network.

Colchester City Centre and main line railway station (London Liverpool St approx. 55 mins) is approximately 3 miles distant. Located on the Business Park is a restaurant, newsagents / shop, coffee shop, dentists, hairdressers and gym.

200 The Crescent

Colchester Business Park
Colchester
Essex
CO4 9YQ

Grid Reference: TM 00982 29052
Latitude: 51.923697
Longitude: 0.92145170

Terms

The office is available To Let on a new full repairing basis, with lease length and terms to be agreed. Rent available upon request. We are advised that VAT is applicable at the prevailing rate.

Service Charge

A service charge is applicable. Further details are available upon application.

Buildings Insurance

The buildings insurance is to be arranged by the landlord with the cost to be recovered from the occupier.

Business Rates

We are advised that, with effect from the 1st April 2023, the premises have a rateable value of £452,500. Therefore estimated rates payable of approx. £247,065 for the current year. Interested parties are advised to make their own enquiries with the local rating authority to confirm their liabilities.





Energy Performance Certificate (EPC)

The premises are to be reassessed following the refurbishment works.

Anti-Money Laundering Regulations

Anti-Money Laundering Regulations require Fenn Wright to formally verify a prospective tenant's identity prior to the instruction of solicitors.

Contact us

Viewings strictly by sole agents.

Fenn Wright

Michael Moody

mcm@fennwright.co.uk

DD: 01206 854 545

